



COUNTY OF SACRAMENTO
DEPARTMENT OF COMMUNITY DEVELOPMENT
BUILDING PERMITS & INSPECTION DIVISION

HOW TO GET A PERMIT FOR BUILDING A NEW SINGLE FAMILY DWELLING



Residential Projects Requiring Permits

(Partial List)

Common residential projects that require a permit from Sacramento County's Building Inspection Division are listed below. This is not meant to be all-inclusive but to serve as a guide for homeowners and others.

These Projects will require a permit:

- New Dwellings
- Addition to Dwellings
- New, or Additions to a Garage (Attached or Detached)
- Swimming Pools / Spas
- Mobile Home for Residence

These projects may require a permit:

- Back yard sheds when any of the following apply:
 - More than 120 square feet of floor area
 - More than 9 feet maximum height
 - Closer than 3 feet to side or rear property line
 - Closer than 6 feet to house or garage
- Carport
- Decks more than 30 inches above grade
- Electric for a portable spa or pool
- Electric service change out
- Fences over 6 feet high
- Garage conversion
- Gas log lighter
- Heating or air conditioning unit, replacement or installation
- Patio covers, whether freestanding or attached to house/garage
- Re-roofing
- Retaining walls holding more than 24 inches of earth
- Shower pan replacement
- Siding – More than 60 linear feet
- Termite/dry rot repair
- Water heater replacement
- Wood heater, freestanding

Just because your project is not shown above does not mean that a permit isn't required. Consult Building Inspection if you have any questions.

Residential Submittal Requirements (New Buildings, Additions and Alterations)

Document Submittal List

The below list of submittal items are **needed** to complete your project plan review. A thorough and accurate plan check can not be performed without a complete submittal package. A lack of needed items will result in a delay of your permit issuance. The plans should clearly delineate between all existing and new construction.

A. Drawings Size: Minimum 11" x 17" (18" x 24" preferred for new dwellings) to 24" x 36". All sheets must be drawn to scale and fully dimensioned. Plans shall be clear and legible: non-legible plans will not be accepted.

Provide the minimum number of sets as required (typically 3 sets):

- 2 Sets for the Building Department
 1 11" x 17" Floor plan for Assessor
 Additional sets for the Fire District (**separate submittal to your specific fire district**)

Drawings to Consist of:

1. General Information Show existing and proposed structures and specify their uses.
 2. Plot/Site Plan Show dimension to front, rear, side street to proposed structure. Show distance to street centerline. Show location(s) of any and all other structures on the parcel.
 3. T-24 Sheets
 4. Architectural Plans Floor Plan, Roof Plans, Elevations, Section, Other Details and uses of all rooms.
 5. Structural Plans (if applicable) Foundation Plans, Floor & Roof Framing Plans, Truss Calculation sheets and structural details. Show size, spacing, species and grade of all framing members. Identify location and lengths of braced wall panels and detail of anchorage.

B. Calculations (if required) -

1. Structural Calculations **2 sets required for all cases.**
Provide two stamped and wet signed sets by design professional (including lateral design) when design is not in conformance with Conventional Light-Frame Construction, or as required by the building official.
 2. Manufactured Truss Calcs. Provide two wet signed sets.
 3. Title 24 Energy Calculations Forms and Mandatory Note Block (Complete Document).

C. Other Documents (if required)

1. Soils Report For new buildings when soil bearing pressure exceeds 1500 psf, or where expansive or questionable soil conditions exist.
 (Rancho Murieta South)
 2. Special Inspections Forms Only as required by project engineer or Building Official.

PERMIT # _____ COUNTER STAFF INITIALS _____ DATE _____

CURRENT APPLICABLE BUILDING CODES
20013 California Building Codes Title 24

ALL INFORMATION AND LISTED ITEMS ON PAGE TWO OF THIS DOCUMENT ARE FOR INFORMATIONAL PURPOSES ONLY AND/OR FOR OUR INTERNAL USE

1. **General Information:** (Typically on the Plan Cover sheet)
 Project name & address, as well as project owner's name & address.
 Design professional's name, title & address – stamps and wet-signatures when required.
 Assessor's Parcel Number (APN).
 Occupancy group(s) R-3/U and type of construction, fire sprinklers – (if required by Fire Department).
 Total square footage of building.
 Use of all rooms, existing and new.
 Description or scope of work.

- Sheet index of drawings.
- Vicinity map, location and North arrow.

2. **Plot/Site Plan**

- Lot dimension showing whole parcel and property lines and all structures on parcel.
- Building footprint-provide dimensions to property lines.
- Identify location within building footprint where work is being done.
- Identify building orientation and North Arrow.
- Show Location of:
 - Oak tree location
 - Electric meters
 - Water meters/back flow preventers
 - Septic system (**Environmental Health Division - 827 7th Street, Room 102, Sacramento, CA 95814**)
 - Location of wells - **Environmental Health Division - (916) 874-6010 FAX: (916) 854-9229**
 - Gas meters
 - Propane tank (**If applicable**)
 - Retaining Walls (**separate permit**)
 - Proposed use of structure. i.e.: Garage, SFD, Halfplex

3 & 4. **Architectural and Structural Plans (Stamped and wet-signed if done by a design professional)**

- a. Foundation Plan if applicable (show new and existing work)
- b. Floor Plan (show new and existing work and show each floor drawn to scale and fully dimensioned)
 - Show size of all openings, swings of doors
 - Identify window types
 - Reference to section details
 - Fire wall details occupancy/halfplex/zero lot
 - Smoke detector locations
 - Show location of all stairways (**If required**)
 - Show location of all heating & AC Equipment
- c. Floor/Wall/Ceiling/Roof framing plans
- d. Interior and/or Exterior elevations
- e. Details Architectural/Structural
 - Cross Sections
 - Framing details
 - Section details
 - Shafts, floor ceiling/roof
 - Occupancy separations and detail ceiling assemblies
 - Structural material specifications
 - Flashing/wall to roof, etc.
 - Footing details-Piers, Grade Beams, etc.
 - Structural connections-hold downs, welding, columns, etc
 - Hardware

5. **Electrical Plans**

- Floor plan showing electrical item locations.
- Lighting fixtures/GFI Circuits
- Receptacles and light switches
- New and existing and to be removed
- Panel locations/size
- HVAC equipment
- Lighting package, dimmer switch, photo sensor / location. Identify fluorescent / incandescent fixtures.

Notes:

- 1) Multiple information can be combined on plans for simple buildings, if clarity is maintained.
- 2) This is not a complete list of all required submittals, and additional information may be required after plan review.
- 3) Other departments and agencies may have to review and approve plans before permits can be issued.
- 4) All plan review done after the second review is billed at an hourly rate



Municipal Services Agency
Building Inspection
General Information: (916) 875-5296
www.bldginspection.org

4101 Branch Center Rd Sacramento 95827 Fax (916) 854-9228	5229 Hazel Ave Suite B Fair Oaks 95628 Fax (916) 875-1537
827 7th St Room 102 Sacramento 95814 Fax (916) 854-9229	6015 Watt Ave Suite 4 North Highlands 95660 Fax (916) 874-2632

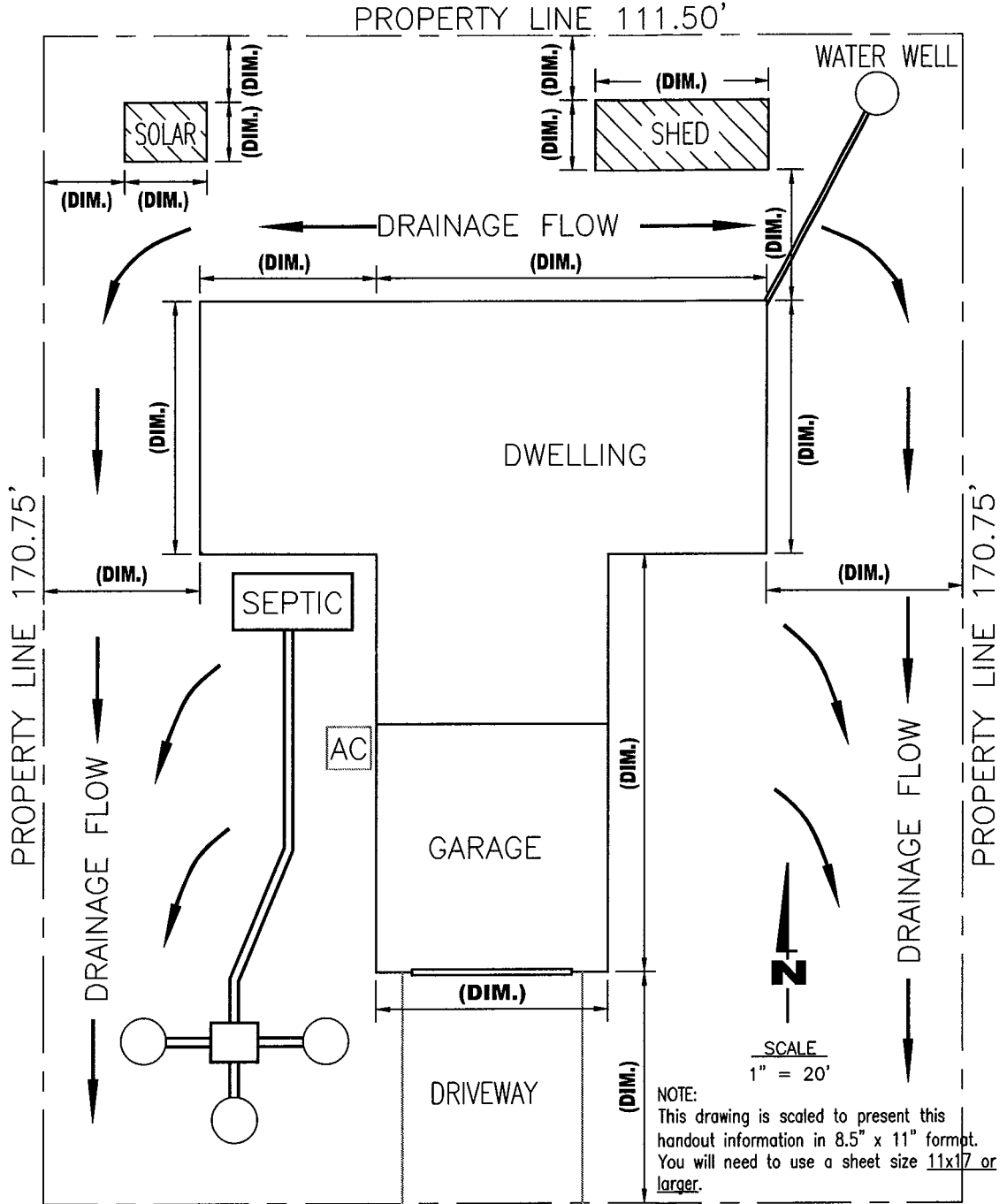
SINGLE FAMILY DWELLING PLOT PLAN CHECKLIST

REQUIREMENTS:

- CHECKLIST
- Street Name(s)
- Street Address
- Drawing Scale
- North Arrow
- Location of Mechanical Equipment
- Driveway and Sidewalk
- Drainage Flow Arrows, Contour Lines & Elevations
- Label Existing Buildings & Structures and Indicate Usage
- Label Proposed Additions & Indicate Usage
- Dimensions from Existing Buildings & Structures to Property Lines
- Dimensions from Proposed Buildings & Structures to Existing Buildings
- Dimensions from Proposed Buildings & Structures to Property Lines
- Dimensions of Existing Buildings And Structures
- Dimensions of Proposed Buildings & Structures
- Dimensions of Property Lines

PROVIDE THREE (3) COPIES, the minimum sheet size accepted is 11"x 17".

NEW SINGLE FAMILY DWELLING PLOT PLAN EXAMPLE



YOUR NAME
STREET ADDRESS
CITY, STATE ZIP

PROPERTY LINE 111.50'
STREET NAME



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RESIDENTIAL FLOOR PLAN CHECKLIST

USE FOR:

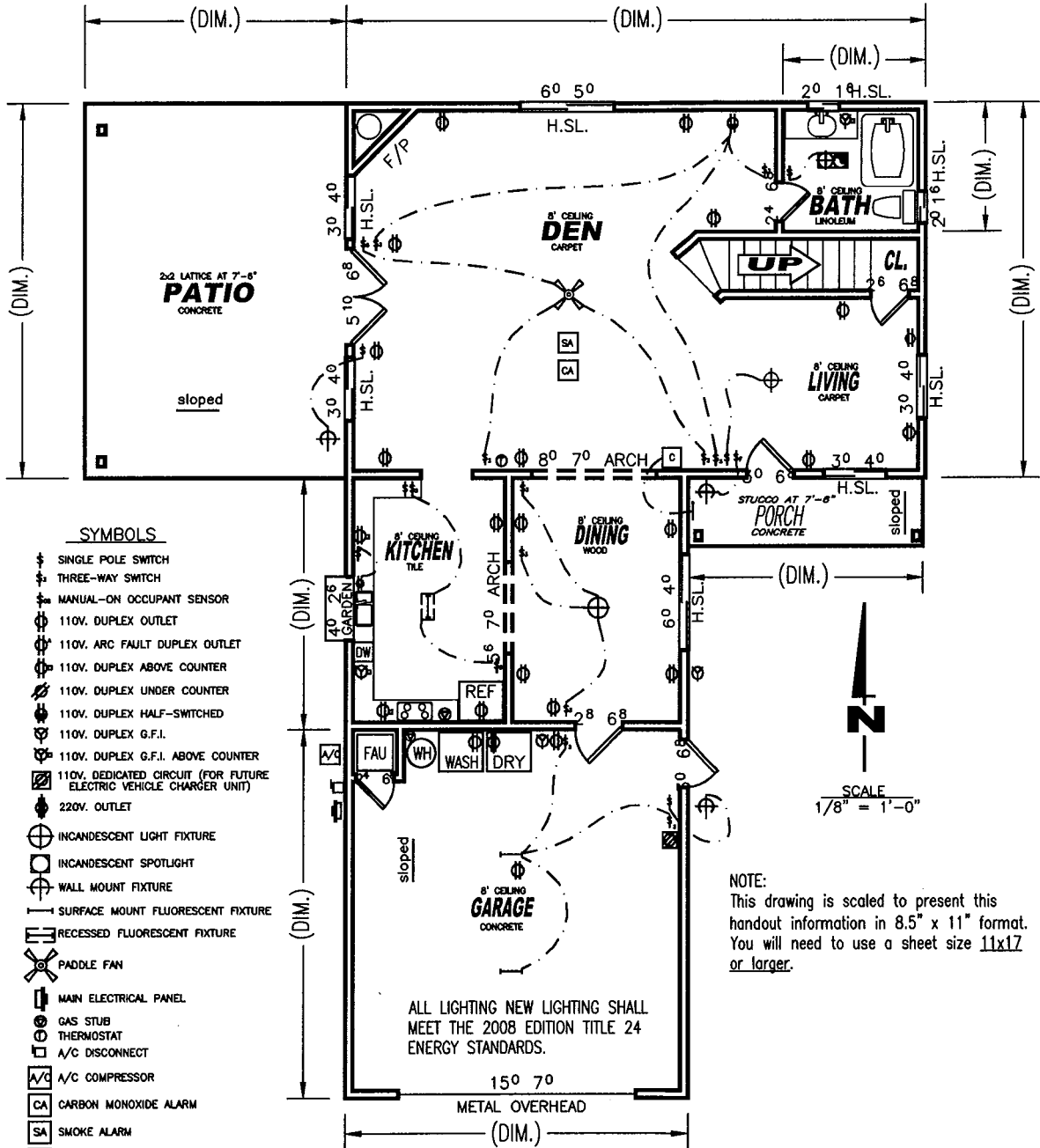
- Custom Homes
- New Construction

REQUIREMENTS:

- CHECKLIST
- Customer Name
- Street Address
- North Arrow
- Drawing Scale (1/4"=1'-0" Typical)
- Location of Major Appliances
- Location of Mechanical Equipment
- Location, Type, and Size of Windows
- Location and Size of Doors
- Location of Gas Outlets
- Location of Plumbing Fixtures
- Floor Coverings
- Ceiling Heights
- Dimensions And Usage Of Rooms
- Electrical Plan (Optional - May Be Separate Plan)
- Roof Framing Plan (Optional - May Be Separate Plan)

PROVIDE THREE (3) COPIES, the minimum sheet size accepted is 11"x 17".

RESIDENTIAL FLOOR PLAN EXAMPLE



SYMBOLS

- ⊕ SINGLE POLE SWITCH
- ⊕ THREE-WAY SWITCH
- ⊕ MANUAL-ON OCCUPANT SENSOR
- ⊕ 110V. DUPLEX OUTLET
- ⊕ 110V. ARC FAULT DUPLEX OUTLET
- ⊕ 110V. DUPLEX ABOVE COUNTER
- ⊕ 110V. DUPLEX UNDER COUNTER
- ⊕ 110V. DUPLEX HALF-SWITCHED
- ⊕ 110V. DUPLEX G.F.I.
- ⊕ 110V. DUPLEX G.F.I. ABOVE COUNTER
- ⊕ 110V. DEDICATED CIRCUIT (FOR FUTURE ELECTRIC VEHICLE CHARGER UNIT)
- ⊕ 220V. OUTLET
- ⊕ INCANDESCENT LIGHT FIXTURE
- ⊕ INCANDESCENT SPOTLIGHT
- ⊕ WALL MOUNT FIXTURE
- ⊕ SURFACE MOUNT FLUORESCENT FIXTURE
- ⊕ RECESSED FLUORESCENT FIXTURE
- ⊕ PADDLE FAN
- ⊕ MAIN ELECTRICAL PANEL
- ⊕ GAS STUB
- ⊕ THERMOSTAT
- ⊕ A/C DISCONNECT
- ⊕ A/C COMPRESSOR
- ⊕ CARBON MONOXIDE ALARM
- ⊕ SMOKE ALARM
- ⊕ TV ANTENNA/CABLE
- ⊕ EXHAUST FAN
- ⊕ EXHAUST FAN/FLUORESCENT LIGHT



NOTE:
This drawing is scaled to present this handout information in 8.5" x 11" format. You will need to use a sheet size 11x17 or larger.

ALL LIGHTING NEW LIGHTING SHALL MEET THE 2008 EDITION TITLE 24 ENERGY STANDARDS.

FIRST FLOOR PLAN
(SHOW UPPER FLOOR SEPARATELY)

YOUR NAME
STREET ADDRESS
CITY, STATE ZIP



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RESIDENTIAL ROOF FRAMING PLAN CHECKLIST

USE FOR:

- Custom Homes
- New Construction
- Additions
- Repitch/Reroof
- Reroof, Tile Only*

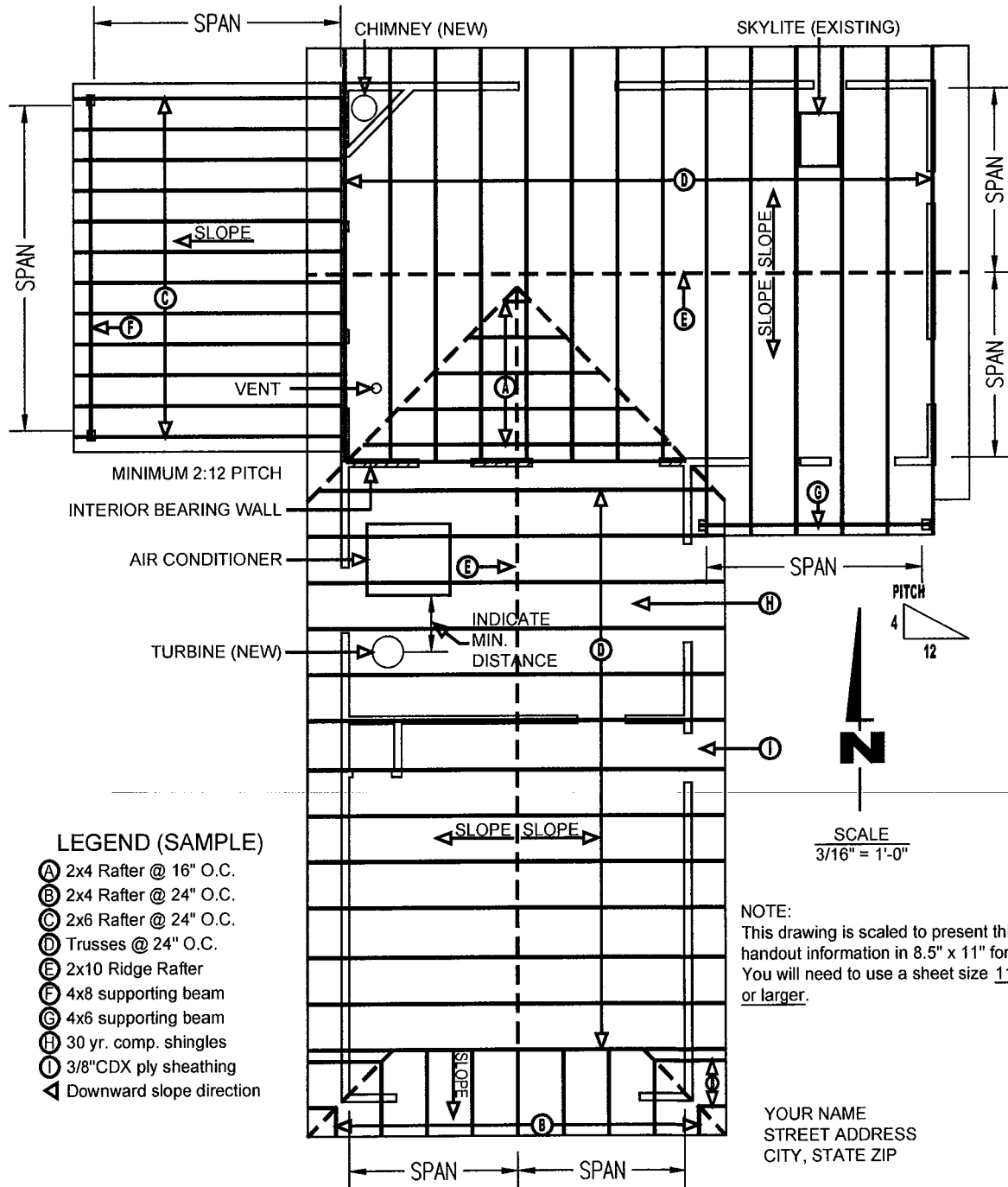
REQUIREMENTS:

- CHECKLIST
- Customer Name
- Street Address
- North Arrow
- Drawing Scale (1/4"=1'-0" Typical)
- Indicate Truss or Conventional Framing*
- Show Interior Bearing Walls, Noting New Walls
- Size of Rafters, Direction, Joists, Ridge Beams, Purlins, etc.*
- Spacing and Spans of Roof Framing Members*
- Location and Size of any Skylites, Vents, etc.
- Location of any Mechanical Equipment on Roof
- Type and Weight of Roofing Underlayment (See Min. Pitch Requirement)
- Type and Size of Roof Sheathing Material
- Type of Roofing Material*
- Engineering Calculations for Tile Roofs
- Note Pitch of Roof, i.e. 4:12 etc.

*Engineering calculations may be required at the discretion of the Building Official.

PROVIDE THREE (2) COPIES, the minimum sheet size accepted is 11"x 17".

RESIDENTIAL ROOF FRAMING PLAN EXAMPLE

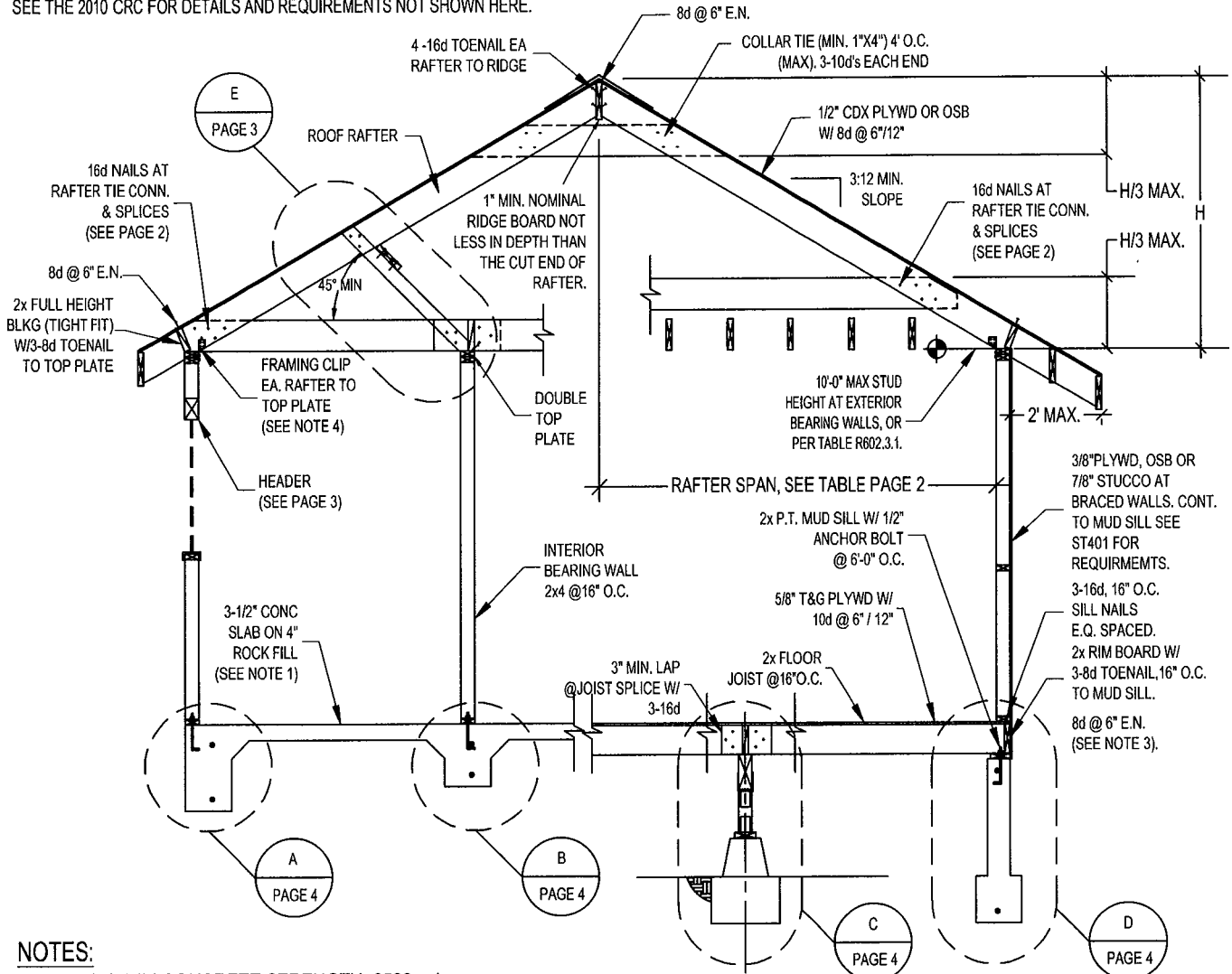




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TYPICAL CONVENTIONAL FRAMING DETAILS

DEAD LOAD SHALL NOT EXCEED 15 PSF FOR COMBINED ROOF AND CEILING, OR EXTERIOR WALLS, OR 10 PSF FOR FLOORS AND PARTITIONS. FLOOR LIVE LOAD SHALL NOT EXCEED 40 PSF. THIS SHEET IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT. SEE THE 2010 CRC FOR DETAILS AND REQUIREMENTS NOT SHOWN HERE.



NOTES:

1. MINIMUM CONCRETE STRENGTH: 2500 psi.
2. ANCHOR BOLTS SHALL BE EMBEDDED AT LEAST 7" INTO CONCRETE. FOR TWO-POUR FOUNDATIONS, THE REQUIRED 7" EMBEDMENT SHALL BE PROVIDED IN THE FIRST POUR OR PROVIDE #3 VERTICAL DOWELS @ 48" O.C.(MAX) THAT HAVE STANDARD HOOKS ON EACH END PER FIGURE R403.1.3.2, 2010 CRC. ANCHOR BOLTS SHALL BE LOCATED NOT MORE THAN 12" OR NOT LESS THAN 3-1/2" FROM SILL PLATE ENDS, CORNERS, AND SPLICES. ANCHOR BOLTS SHALL BE INSTALLED WITH .229 X 3" SQUARE PLATE WASHERS ON BRACED WALL LINES. PROPERLY SIZED CUT WASHERS SHALL BE PERMITTED FOR ANCHOR BOLTS IN WALL LINES NOT CONTAINING BRACED WALL PANELS.
3. FASTENERS FOR PRESERVATIVE TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
4. AN APPROVED MANUFACTURED CONNECTOR WITH AN UPLIFT CAPACITY OF 267 POUNDS FOR RAFTERS SPACED AT 16 INCHES O.C., OR 400 POUNDS FOR RAFTERS SPACED 24 INCHES O.C. IS ACCEPTABLE.
 NOTE: SEE FASTENING SCHEDULE (2010 CRC, TABLE R602.3(1)) FOR NAILING NOT SHOWN.

ALLOWABLE JOIST AND RAFTER SPANS - (Excerpted From 2010 CRC Tables R802.5.1(1), R802.4(1) & (2), R502.3.1(1) & (2))									
DF/Larch #2 Nominal Size (inches)	Spacing in Inches on center	Floor Joist DL=20 psf LL L/defl=360		Floor Joist DL=10 psf LL L/defl=360		Ceiling Joist (Lim. stor)	Ceiling Joist (No stor)	Rafter	Rafter
		LL=30 psf	LL=40 psf	LL=30 psf	LL=40 psf	LL=20 psf, DL=10 psf LL L/defl=240	LL=10 psf, DL=5 psf LL L/defl=240	LL=20 psf, DL=20 psf LL L/defl=180	LL=20 psf, DL=10 psf LL L/defl=180
2 X 4	12"	n/a	n/a	n/a	n/a	9-10	12-5	9-10	10-10
	16"	n/a	n/a	n/a	n/a	8-9	11-3	8-6	9-10
	19.2"	n/a	n/a	n/a	n/a	8-0	10-7	7-9	8-11
	24"	n/a	n/a	n/a	n/a	7-2	9-10	6-11	8-0
2 X 6	12"	11-6	10-6	11-10	10-9	14-10	19-6	14-4	16-7
	16"	9-11	9-1	10-9	9-9	12-10	17-8	12-5	14-4
	19.2"	9-1	8-3	10-1	9-1	11-9	16-7	11-4	13-1
	24"	8-1	7-5	9-1	8-1	10-6	14-10	10-2	11-9
2 X 8	12"	14-7	13-3	15-7	14-2	18-9	25-8	18-2	21-0
	16"	12-7	11-6	14-1	12-7	16-3	23-0	15-9	18-2
	19.2"	11-6	10-6	12-10	11-6	14-10	21-0	14-4	16-7
	24"	10-3	9-5	11-6	10-3	13-3	18-9	12-10	14-10
2 X 10	12"	17-9	16-3	19-10	17-9	22-11	Note a	22-3	25-8
	16"	15-5	14-1	17-2	15-5	19-10	Note a	19-3	22-3
	19.2"	14-1	12-10	15-8	14-1	18-2	25-8	17-7	20-3
	24"	12-7	11-6	14-1	12-7	16-3	22-11	15-8	18-2
2 X 12	12"	20-7	18-10	23-0	20-7	n/a	n/a	25-9	Note a
	16"	17-10	16-3	19-11	17-10	n/a	n/a	22-4	25-9
	19.2"	16-3	14-10	18-3	16-3	n/a	n/a	20-4	23-6
	24"	14-7	13-4	16-3	14-7	n/a	n/a	18-3	21-0

Note a: Span exceeds 26' in length

"DL" AND "LL" ON THESE SHEETS INDICATES "DEAD LOAD," & "LIVE LOAD" RESPECTIVELY.

RAFTER TIE CONNECTIONS, NUMBER OF 16d COMMON NAILS.

RAFTER SPACING	ROOF PITCH																										
	3:12				4:12				5:12				7:12				9:12				12:12						
	SPAN				SPAN				SPAN				SPAN				SPAN				SPAN						
	12'	20'	28'	36'	12'	20'	28'	36'	12'	20'	28'	36'	12'	20'	28'	36'	12'	20'	28'	36'	12'	20'	28'	36'			
12"	4	6	8	10	3	5	6	8	3	4	5	6	3	4	4	5	3	3	4	4	3	3	3	3	3	3	3
16"	5	8	10	13	4	6	8	10	3	5	6	8	3	4	5	6	3	4	4	5	3	3	3	4	4	4	4
24"	7	11	15	19	5	8	12	15	4	7	9	12	3	5	7	9	3	4	6	7	3	4	4	4	4	4	5

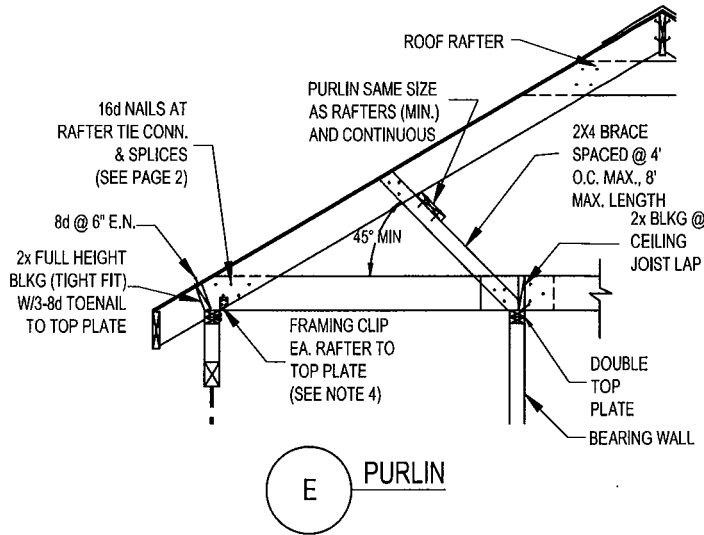
- 40d box nails are permitted to be substituted for 16d common (3/2" x 0.16") nails.
- Nailing requirements are permitted to be reduced 25 percent if nails are clinched.
- Rafter tie heel joint connections are not required when the ridge is supported by a load-bearing wall, header or ridge beam.
- When intermediate support of the rafter is provided by vertical struts or purlins to a load-bearing wall, the tabulated heel joint connection requirements are permitted to be reduced proportionally to the reduction in span.
- Equivalent nailing patterns are required for ceiling joist to ceiling joist lap splices.
- Connected members shall be of sufficient size to prevent splitting due to nailing. Split members shall be removed and replaced.
- Increase nailing per footnote h, Table R802.5.1(9), 2010 CRC, if rafter ties do not rest on the top plate.

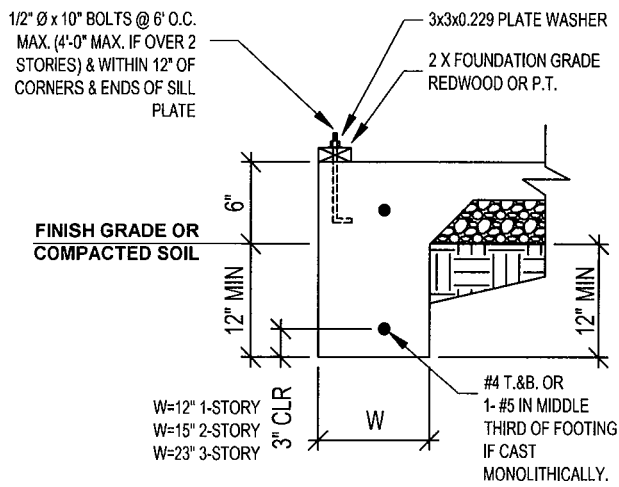
NOTE: HDRS SPACE BASED ON RF LL = 20 PSF

ALLOWABLE HEADER SPANS - From 2010 CRC Table R502.5(1)

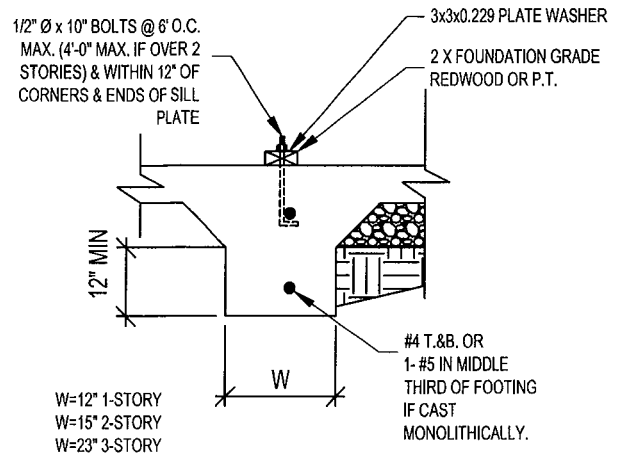
DF/Larch #2 Nominal Size (inches)	Building Width (Span of structure in ft.)	Roof + Clg. + one floor (Clear Span)	No. of Jack Studs	Roof + Clg. Only Clear Span)	No. of Jack Studs
2-2 X 4 (4x4)	20'	2-8	1	3-6	1
	28'	2-4	1	3-2	1
	36'	2-1	1	2-10	1
2-2 X 6 (4x6)	20'	3-11	1	5-5	1
	28'	3-5	2	4-8	1
	36'	3-0	2	4-2	1
2-2 X 8 (4x8)	20'	5-0	2	6-10	1
	28'	4-4	2	5-11	2
	36'	3-10	2	5-4	2
2-2 X 10 (4x10)	20'	6-1	2	8-5	2
	28'	5-3	2	7-3	2
	36'	4-8	2	6-6	2
2-2 X 12 (4x12)	20'	7-1	2	9-9	2
	28'	6-1	3	8-5	2
	36'	5-5	3	7-6	2
3-2 X 8 (6x8)	20'	6-3	2	8-4	1
	28'	5-5	2	7-5	1
	36'	4-10	2	6-8	1
3-2 X 10 (6x10)	20'	7-7	2	10-6	1
	28'	6-7	2	9-1	2
	36'	5-11	2	8-2	2
3-2 X 12 (6x12)	20'	8-10	2	12-2	2
	28'	7-8	2	10-7	2
	36'	6-10	2	9-5	2

- Note: 1. Built-up headers must be fastened per nailing schedule.
 2. Conditions shown are for exterior wall. Tributary width of joist is 1/2 bldg. width.
 3. Where 1 jack stud is req'd., an approved header hanger bracket may be used.

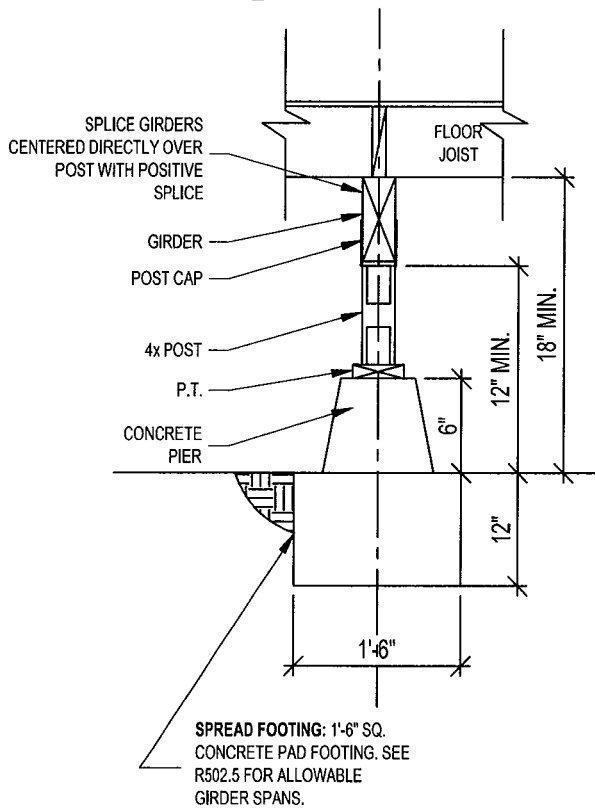




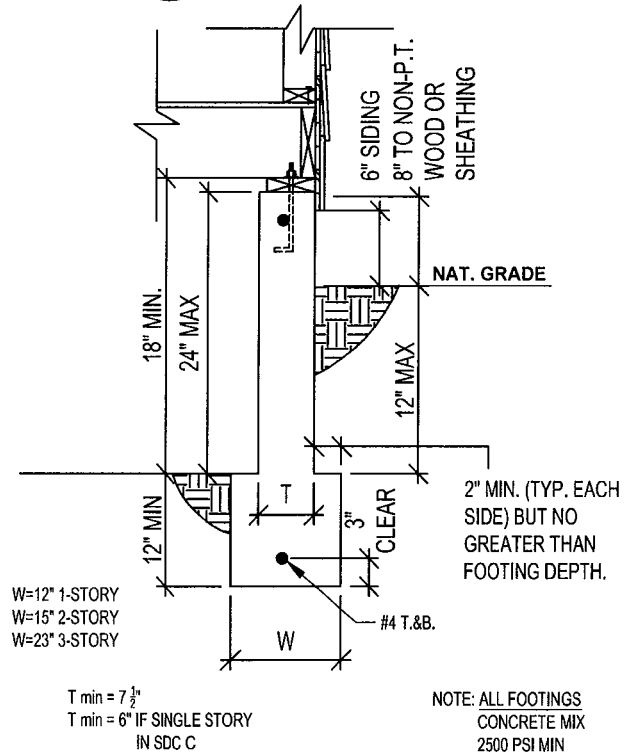
A SINGLE POUR



B INTERIOR



C SPREAD FOOTING



D STEM WALL

IN S.D.C. D, A CONSTRUCTION JOINT BETWEEN THE FOOTING AND STEM WALL REQUIRES #4 VERTICALS AT 48" O.C. (MAX) WITH STANDARD HOOKS.

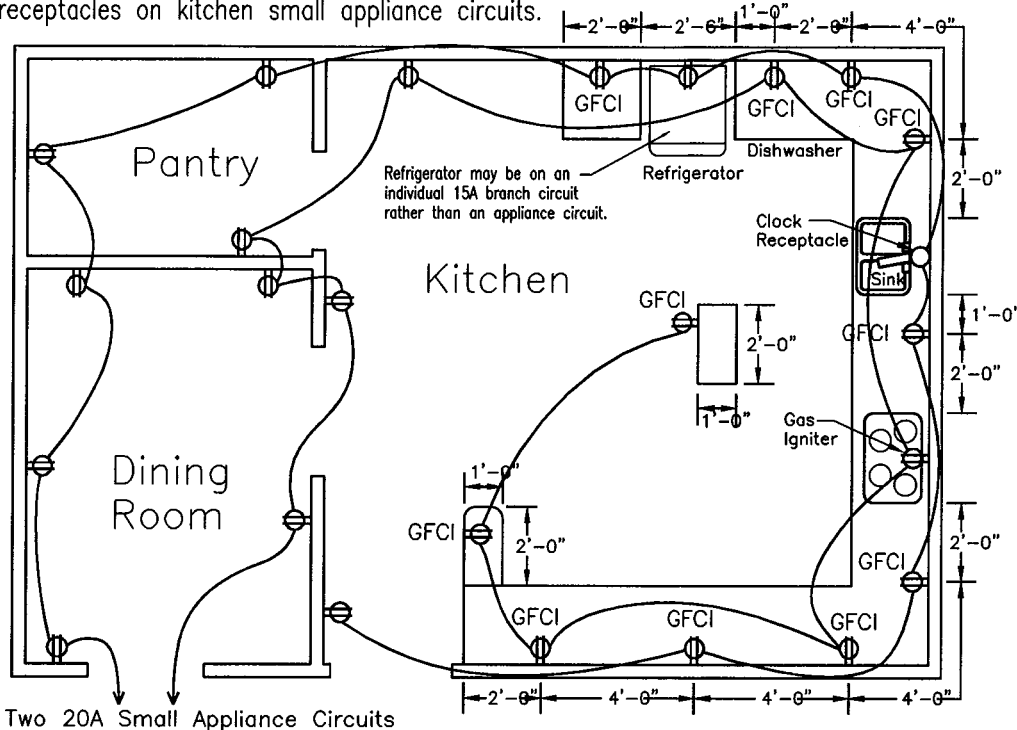


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KITCHEN COUNTERTOP RECEPTACLES

An acceptable wiring method and placement of receptacles and GFCI protected receptacles on kitchen small appliance circuits.



This figure shows how to meet the requirements of California Electrical Code, Sections 210-52(b)(1), (2) and (3). Countertop receptacles are intended for small appliances, and **may not** be used for exhaust hoods or fans, disposals or dishwashers. Countertop receptacles must be protected with a GFCI (Ground Fault Current Interrupter) (Section 210-8(a)(6)).

If the countertop is longer than 12", it must have its own receptacle. A countertop 48" (4'-0") long may be serviced by one receptacle--provided no point along the wall is more than 24" (2'-0") from a receptacle (Section 210-52(c)). If you have a peninsular-type countertop, measure it from the edge of the section connecting countertop, not the wall, to determine the placement of its receptacle. An island-type countertop at least 12"x24" in size is also required to have its own receptacle.

Per Section 210-52(B)(1), countertop receptacles in the kitchen shall be evenly divided on two or more 20-amp appliance circuits, which may supply other receptacle outlets in the dining, breakfast, or pantry rooms. This requirement allows full use of appliances without overloading individual circuits. (A refrigerator and/or freezer may be on an individual 15-amp branch circuit, instead of the appliance circuit.)



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827 7 th St • Room 102 Sacramento 95814 Fax (916) 854-9229	6015 Watt Ave • Suite 4 North Highlands 95660 Fax (916) 874-2632

Expedited Plan Review Request

PROJECT ADDRESS _____

CASE NO. _____

TYPE OF WORK:

<input type="checkbox"/> Residential	
<input type="checkbox"/> New	<input type="checkbox"/> Alteration
<input type="checkbox"/> Addition	<input type="checkbox"/> Misc. Structural

<input type="checkbox"/> Commercial	
<input type="checkbox"/> New	<input type="checkbox"/> Alteration
<input type="checkbox"/> Addition	<input type="checkbox"/> Misc. Structural

Current initial plan check time _____ business days (excluding weekends and holidays).

I request that this project be expedited through plan review, including recheck, using overtime, provided that staff is available and the workload allows time to fulfill this request. This does not include processing through other departments, such as Planning, Health, Technical Resources, Water Quality, Transportation Division – Tree Coordinator (a.k.a.: Heritage Oaks), etc.

I understand that, in addition to the normal plan check fee, an additional overtime fee will be charged. The fee will be the appropriate overtime labor rate times the hours spent. The applicant listed below will be notified if this request can be honored. **I also understand that this is a request, and not a guarantee that my project will be expedited**, as this program is voluntary and based on availability of the plan review staff.

Do not start work without an issued permit. "Partial" permits and "Foundation Only" permits are available upon request.

Applicant's Name (Print)

Applicant's Signature

Date

(_____) _____
Telephone No.



Municipal Services Agency
Building Inspection
 General Information: (916) 875-5296
www.bldginspection.org

4101 Branch Center Rd Sacramento 95827 Phone 916-875-5296 Fax 916-854-9226	5229 Hazel Ave • Suite B Fair Oaks 95628 Fax (916) 854-9034
827 7 th St • Room 102 Sacramento 95814 Fax (916) 854-9229	6015 Watt Ave • Suite 4 North Highlands 95660 Fax (916) 874-2632

Fire District Information

All plans must be submitted to the local fire district that has jurisdiction for your area. Typically 2 sets of plans are required by each Fire Department.

Agency Name	Address	Telephone/FAX
Courtland Fire District	154 Magnolia Avenue Courtland, CA 95615	(916) 775-1210 (916) 775-2161 FAX
Cosumnes CSD Fire Department	8812 Elk Grove Blvd. Elk Grove, CA 95624	(916) 405-7100 (916) 685-6622 FAX
Folsom City Fire District	50 Natoma Street Folsom, CA 95630	(916) 984-2280 (916) 984-7081 FAX
Herald Fire District	12746 Ivy Road Herald, CA 95638	(209) 748-2322 (209) 748-2363 FAX
City of Isleton Fire Department	Post Office Box 716 Isleton, CA 95641	(916) 777-7776 (916) 777-7780 FAX
Rio Vista/Delta Fire District	350 Main Street Rio Vista, CA 94571	(707) 374-2233 (707) 374-6324 FAX
River Delta Fire District (Outside Isleton City limits)	2360 Twitchell Rio Vista, CA 94591	(916) 777-8700 (916) 777-5732 FAX
Sacramento City Fire Department *	300 Richards Blvd. Sacramento, CA 95811	(916) 808-5006 (916) 566-3640 FAX
Sacramento Metropolitan Fire District	3012 Gold Canal Drive Rancho Cordova, CA 95670	(916) 859-4330 (916) 859-3717 FAX
Walnut Grove Fire District	14150 Grove Street (Station 96) Walnut Grove, CA 95690	Chris, Skyline Const. (415) 720-5236 (916) 417-4070 - Chief (916) 776-1214 – Office (916) 776-2878 FAX
Wilton Fire District	9800 Dillard Road Wilton, CA 95693	(916) 687-6920 (916) 687-8920 FAX

* Sacramento City Fire Department requires 3 copies of plans. Appointments required.

- Elk Grove and Galt have consolidated into Cosumnes CSD Fire Department



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Who is Authorized to Prepare Plans

Section 107 of the 2010 California Building Code indicates that the Building Official may require plans, computations, and specifications to be prepared and designed by an engineer or architect licensed by the State to practice as such.

In accordance with the provisions of the California Business & Professions Code, the plans, specifications, and calculations for all buildings and structures shall be prepared under the direction of and signed by a person certified by the State of California as a registered civil engineer or licensed architect. Structural and soils engineers are civil engineers with the authority to use their respective titles. Any person who practices electrical or mechanical engineering shall be registered accordingly in the State of California.

The following exemptions to the above requirements may be permitted, unless the buildings and structures are determined by the building official to be of an unusual nature where the structural stability or the safety of such buildings or structures is not evident to the Building Official. Engineering calculations and the signature of a registered engineer or licensed architect may be required in such cases.

Exemptions for Unlicensed Persons (Reference Business & Professions Code, Sections 5537, 5538, 6737.1, and 6745).

1. Any person, if conforming substantially to conventional framing requirements of the 2010 California Residential Code and Building Inspection approved framing charts, may prepare the following types of residential work:
 - a. Single family dwellings of wood frame construction not more than two stories plus basement in height.
 - b. Multi-family dwellings not more than two stories plus basement in height, having not more than four attached dwellings, and not more than four dwellings per lot, including not more than four attached row house dwelling units on separate lots.
 - c. Wood frame garages and other structures appurtenant to a. above.
 - d. Wood frame agricultural and ranch buildings unless the Building Official deems that an undue risk to the public health, safety, or welfare is involved.

Design documents (plans and calculations) for non-conventional elements that do not conform substantially to the 2010 California Residential Code and Building Inspection approved framing charts must be prepared by a licensed architect or registered civil engineer certified by the State of California. The documents for that portion shall bear the wet signature and information required of the licensee who is responsible for their preparation.

2. An unlicensed Certified Interior Designer or equally qualified unlicensed person may prepare plans and specifications for the following types of non-structural or non-seismic commercial interior additions, alterations, or tenant improvements in accordance with the provisions of the California Business & Professions Code:
 - a. Tenant spaces that are classified only as B and M occupancies or dining establishments.
 - b. Spaces where area separation walls and horizontal exits are not required.
 - c. Spaces in the building that are not being converted from residential use.
 - d. Tenant spaces that are not within historical buildings.
3. Any unlicensed person may prepare plans and specifications for the following types of non-structural or non-seismic commercial interior additions, alterations, or tenant improvements in accordance with the provisions of the California Business & Professions Code:
 - a. Tenant spaces that require only one exit based on Table 1015.1 & 1021.2 of the California Building Code.
 - b. Tenant spaces that are classified only as B and M occupancies or dining establishments.
 - c. Spaces where area separation walls, occupancy separation walls, and horizontal exits are not required.
 - d. Spaces in the building that are not being converted from residential use.
 - e. Tenant spaces that are not within historical buildings.

Use of Exemption 2 or Exemption 3 is subject to approval of the Building Official. The Building Official may require plans, computations, and specifications to be prepared and designed by an engineer or architect licensed by the State to practice as such even if not required by State law.

4. Exemption for licensed contractors. (Reference B & P Code, Section 6737.3.) Contractors licensed in the State of California are not prohibited from designed mechanical and electrical systems of facilities for work to be performed by such contractor within the classification for which his/her license is issued. Nothing in this Section is intended to imply that a licensed contractor may design work that is to be installed by others.

Incomplete Plans:

Section 107 of the 2010 California Building Code indicates that plans and specifications must be of sufficient clarity to indicate the nature and extent of the work proposed and show in detail that it will conform to the provisions of the Code and all relevant laws, ordinances, rules, and regulations. Plans that are so lacking in clarity or detail as to be unacceptable will be referred back to the applicant for completion and/or clarification.